



ST. FRANCIS PLANNING COMMISSION

**ISD #15 DISTRICT OFFICE BUILDING
4115 AMBASSADOR BLVD.
OCTOBER 21, 2015**

7:00 PM

AGENDA

1. Call to Order/Pledge of Allegiance
2. Roll Call
3. Adopt Agenda October 21, 2015
4. Approve Minutes September 16, 2015
5. Public Comment
6. Public Hearing: PUD Amendment – 29XX 229th Ave NW – St Francis
 Transitional Care Facility
7. Planning Commission Discussion
8. Adjournment

There may be a quorum of St. Francis Council Members present at this meeting.

**CITY OF ST. FRANCIS
ST. FRANCIS, MN
PLANNING COMMISSION MINUTES
September 16, 2015**

1. **Call to Order:** The Planning Commission meeting was called to order at 7:05 pm by Chairman Steinke.
2. **Roll Call:** Present were Ray Steinke, Todd Gardner, Joel Olson, Greg Zutz, and William Murray.
3. **Adopt Agenda:** Motion by Olson, second by Zutz to approve the agenda. Motion carried 5-0.
4. **Approve Minutes:** Motion by Olson, second by Zutz to approve the August 19, 2015 minutes. Motion carried 5-0.
5. **Public Comment:** None
6. **Public Hearing – Kilpela Building Size & Number of Accessory Buildings Variance**
Greg & Cheryl Kilpela have made an application for a variance to allow them to exceed the maximum size and number of detached accessory structures at 23525 Variolite St. The property is 9.6 acres in size according to County records which allows up to 2 detached accessory buildings that total 4000 square feet in size. Parcels larger than 10 acres are limited to 2 buildings that may total up to 5000 square feet in area. The applicants would like three structures totaling 5718 square feet.

This variance is the result of the Building Department discovering unpermitted building activity on the site and discovering that the structures are already in place on the site. The applicants were instructed by the Building Department to bring the property into conformance in December 2014. The applicants hired an attorney who discussed this matter with City Staff and through these discussions it was discovered that the applicants were boarding horses on the property without a permit. This led to the application for the CUP recently reviewed by the City.

The applicants' state as their reason for the variance that they have sufficient real estate for seven horses and the limitations on building size make it too difficult to accommodate this number of horses. They also state that there are allergy concerns and health concerns related to hay storage in the same building as horses.

Sparks stated that variance requests must meet the variance review criteria. In this instance there is no practical difficulty in putting the property to a reasonable use, the plight of the landowner was created by the landowner, and that this variance would result in granting special privileges to the property owner. Staff recommended denial of the request.

Sparks also stated that a written comment from the public was received in opposition to the request and entered it into the record.

Steinke opened the public hearing at 7:20.

Gregg Kilpela stated he thought the lot was 10 acres in size and he could have up to 5000 square feet of buildings. He said he didn't know that some of the structures required permits. He was unaware that he needed the CUP for the horse business. He thought it would be better to have a separate building for hay storage. The proposal accommodates what he wants for the site. He needs this much space to keep the number of horses he has. Horses suffer without the space and hay gets moldy in the main building.

Olson said the ordinances are the ordinances and ignorance of the law is no excuse.

Cheryl Kilpela said the business they bought the buildings from told her she didn't need a permit. She said she could put equipment all over the property with weeds growing all around it instead of having the buildings. The neighbors like having the site neat and clean.

Olson said he agrees that the property looks nice but everybody must operate within the ordinance and that the Commission must review this against the criteria.

Gregg Kilpela said horse rescue has to come in when horses are not properly cared for. If he weren't doing his own hay, he could meet the ordinance. He deserves the variance because of his business.

Steinke closed the public hearing at 7:47.

Murray said others have their reasons in the same situation. He had to rent space in a barn once. The rules are the rules.

Zutz said property owners should check with the City before investing in structures. This is a frequent issue.

Gardner said ignorance of a rule is not an excuse. We treat everybody the same. It has to be a unique situation.

Steinke said he spent a summer with horses and the submission addresses the care of the ordinance and not the code issues.

Motion by Olson, second by Gardner to recommend denial of the variance due to the request not meeting the review criteria. Motion carried 5-0.

Cheryl Kilpela asked how a resident can know what the rules are. Skordahl said the codes are online and there is staff and himself available for questions.

7. **Public Hearing – Floodplain Ordinance**

Sparks stated that the City has received new flood maps that are effective at the end of the year. With the new maps is the new model floodplain ordinance that has been worked on with DNR staff.

Steinke opened the public hearing at 8:09.

Steinke closed the public hearing at 8:10.

Olson asked about the impact on existing houses. Sparks said the houses in the flood plain would be treated similarly.

Murray asked about subdividing property in the floodplain. Sparks said that creating a lot of all floodplain would not be permitted.

Motion by Steinke, second by Olson to recommend approval of the floodplain ordinance. Motion carried 5-0.

9. Planning Commission Discussion.

Zutz noted that there is graffiti on a house on Ambassador near Stark and requested the City get involved in removing it.

10. Adjournment: Motion by Zutz, second by Gardner to adjourn. Motion carried 5-0. Meeting adjourned at 8:30 pm.

Nate Sparks, City Planner

Date



PLANNING REPORT

TO: St. Francis Planning Commission
FROM: Nate Sparks
DATE: October 15, 2015
RE: PUD Amendment – St. Francis Transitional Care Facility

BACKGROUND

Able Companies, Inc. has submitted an application for a planned unit development and building and site plan review for a transitional care and assisted living facility. The property is located at an unaddressed parcel on the north side of 229th Avenue NW in the 2900 block. The site is between the golf course clubhouse and the American Legion.

The applicant seeks to build a three story facility with up to 40 assisted living, 34 memory care, and 15 transitional care units. Transitional care units are typically temporary lodging for patients before and after hospital stays. The facility will employ about 50-75 people.

ISSUES ANALYSIS

Comprehensive Plan / Zoning. In the Comprehensive Plan, the site is guided for a commercial land use.

The subject site is zoned PUD, Planned Unit Development. In 2002, the City approved a plat for this property that was part of a planned unit development for a mixed use development surrounding the golf course. The plan identified this parcel as being for a commercial use that would defer to the B-2, General Business District standards. Within the B-2 District hospitals and nursing homes are an allowed use. Therefore, the proposed facility fits within the required parameters of the approved PUD and is consistent with the zoning requirements.

Lot Area and Setbacks. The subject site is approximately 4.38 acres in area and has a lot width of nearly 500 feet. The following table illustrates that the proposed building will meet the required setbacks:

	Required	Proposed	Compliant
Front Yard (south)	50 feet	55 feet	Yes
Side Yard (west)	10 feet	60 feet	Yes
Side Yard (east)	10 feet	57 feet	Yes
Rear Yard	50 feet	105 feet	Yes

Maximum Site Coverage. Within the B-2 district, the total impervious surface is limited to 80%. The total lot area is 4.38 acres. The proposed building footprint is 23,000 square feet with a parking lot surface area surrounding 3 sides of the building. From initial calculations, the site appears to be approximately 40% impervious surfaces.

Maximum Building Height. The maximum building height in the B-2 district is 40 feet. The proposed building has a height slightly over 41 feet. If the Planning Commission finds this acceptable, the PUD can allow for flexibility in this regard.

Building Type and Design. The site plan shows the exterior of the building to be finished with manufactured cultured stone and horizontal wood lap siding. In the B-2 district, the requirement is for 100% of the front of the building to be brick, stone, glass, stucco, or similar materials. The applicant is proposing a building that has a semi-residential feel. The stone comprises about 17% of the front façade. If this is acceptable to the Planning Commission it may be permitted through the PUD. The plan also shows the roof to be finished with asphalt shingles.

Individual Units. Within the building the individual units are about 300-400 square feet in area, depending upon type. The applicant is seeking approval for up to 89 units but is proposing a range of 79-89.

Lighting. A lighting plan has been submitted per Section 10-16-8 of the St. Francis Zoning Ordinance. The light plan includes pole mounted fixtures around the perimeter of the parking lot and parking lot entrance; decorative pole mounted fixtures at the front entrance of the building; and wall mounted fixtures around the entire building. The rear of the property will contain no lighting. The measurement around the property lines vary from 0.0 to 0.1 foot candles.

The lighting fixtures around the parking lot are full cutoff pole mounted fixtures, this meets code for this type of lighting. The fixtures also appear to meet the required setbacks of ten feet from a right-of-way and five feet from an interior property line.

The lighting plan does not indicate the height of the light poles around the parking lot. City Ordinances limit the height of the poles at 25 feet.

Trash Enclosure. The site plan does not show an outdoor trash enclosure. If trash is intended to be stored outside, a trash enclosure will be required per Section 10-16-14 of the Zoning Ordinance.

Parking. By code, an assisted living facility is required to have ½ parking stalls per unit. The site plan shows 89 units between memory care, transitional care, and assisted living. Therefore, 45 parking spaces are required for this project. The site plan shows 51 parking stalls which meets code. The plan also shows 8 disability parking stalls which meets relevant requirements.

The parking lot design is properly dimensioned with 9 foot by 19 foot parking stalls. The parking lot will be paved and have concrete perimeter curbing. Setbacks for the parking areas are being met. The drive aisles vary in width. All two-way traffic aisles shall be adjusted to be a minimum of 24 feet.

Site Access. As part of the original PUD, this property and the golf course clubhouse share an access point to 229th Ave. The applicant has provided evidence of an easement that allows for access through the clubhouse parking lot. The PUD also permitted shared parking, which the applicant is not proposing to use, at this time.

The site plan shows a curb cut access of 30 feet. The access to this facility will be from a private street and is therefore exempt from the 24 foot maximum allowed by code. The City Engineer has requested that the access point be moved further north to avoid potential conflicts with traffic on 229th Ave.

Landscaping and Tree Preservation. In Section 10-20-4 of the St. Francis Zoning Ordinance, it is required that a site provide 1 caliper inch of tree for every 320 gross square feet of building. The applicant is preserving 66 inches of trees on site, which may count towards this requirement. The gross square footage of the building is 64,000, which would require 200 caliper inches of trees. Therefore, 134 additional inches of trees are required to be provided. 53 trees are being proposed which would account for 106 of the required inches. The applicant is also proposing a few tall shrubs. If the specification of these were to be changed slightly, this may satisfy the requirement. Otherwise additional trees will need to be supplied.

Grading Plan. The applicant has submitted a grading and drainage plan that directs hard surface stormwater to a holding pond on the rear of the property. The City Engineer has provided comments on the grading plan.

Fire Safety. The Fire Chief has provided comments to the applicant regarding fire access and safety. This includes additional hydrants. These comments will need to be addressed. The applicant has stated that they will provide the necessary adjustments.

RECOMMENDATIONS

The Planning Commission should consider the flexibilities being sought for building height and materials as part of the PUD Amendment. The flexibilities are being requested to allow for a more residential/institutional style of architecture rather than that of a typical commercial building with a flat roof and block style construction. In this regard, it would appear that this alternative design would warrant such flexibility and meet the City's standards for a PUD Amendment.

It appears that the plans generally conform to the requirements of the Zoning Ordinance. If the Planning Commission concurs, it would be appropriate to forward a recommendation of approval on to the City Council with the following conditions:

1. All comments from the City Engineer, Fire Chief, City Attorney, Anoka County, and other relevant departments or agencies shall be addressed.
2. The landscaping plan shall be revised for review and approval of the City Staff.
3. All drive aisles shall be 24 feet in width.

Attached for reference:

Bolton & Menk Engineer Comments (October 6, 2015)

Site Location

Certificate of Survey

Site Plan

Site Grading

Utility Plan

East and Southeast Elevations

North, West, and South Elevations

First Floor Plan

Second Floor Plan

Third Floor Plan

Landscape Plan

Exterior Lighting Plan



BOLTON & MENK, INC.[®]

Consulting Engineers & Surveyors

7533 Sunwood Drive NW • Ramsey, MN 55303

Phone (763) 433-2851 • Fax (763) 427-0833

www.bolton-menk.com

October 6, 2015

Mr. Nate Sparks, City Planner
Northwest Associate Consultants Inc.
4800 Olson Memorial Hwy, Ste 202
Golden Valley, MN 55422-5169

RE: St. Francis Transitional Care
City of St. Francis, Minnesota
BMI Project No. R18.110795

Dear Nate:

We have reviewed the preliminary construction plans dated 9/29/2015 submitted for the above referenced project and have the following comments:

1. The proposed access to the facility shall be relocated as far north as possible to reduce traffic circulation conflicts and provide for vehicle stacking along the existing access to 229th Avenue NW.
2. The applicant shall provide documentation illustrating access entitlements to the adjacent property east of the proposed site.
3. The applicant and their contractor shall coordinate the proposed sanitary sewer construction with the City of St. Francis and their contractor who will be constructing sanitary sewer along 229th Avenue NW in the spring of 2016.
4. The applicant shall provide escrow monies for the purpose of construction inspection.
5. The applicant shall submit as-built drawings in both paper and electronic format to the City of St. Francis for our files following completion of construction.
6. Concrete curb and gutter shall be installed around the perimeter of the proposed parking lot and access.
7. The submitted drainage calculations shall be revised and the construction plans modified as necessary such that the first 0.5 inches of rainfall over new impervious surfaces is infiltrated. See Section 10, Chapter 93, page 93-6. A soil boring illustrating groundwater depth shall be submitted to confirm that groundwater does not exist within 3-feet of the proposed infiltration practice.
8. The applicant shall prepare a SWPPP and submit it for the review of the City Engineer.
9. The applicant shall be responsible for obtaining an NPDES Phase 2 Construction Permit. A copy of the permit shall be submitted to the City of St. Francis for our files.
10. The applicant shall reconcile the proposed Finished Floor Elevation between the drainage calculations and plans.
11. The elevation of the proposed sanitary sewer connection shall be clearly noted on the plans. Currently, it is identified below the existing manhole invert elevation.
12. Green 12 AWG tracer wire shall be installed on all proposed sanitary sewer and sanitary sewer services and shall be brought to the surface at all manhole and cleanout locations.

13. All sanitary sewer shall be tested in accordance with the City Engineers Association of Minnesota standard specifications.
14. Cleanouts shall be installed within 2' of the building exteriors on all sanitary sewer services.
15. Blue 12 AWG tracer wire shall be installed on all proposed non-conductive watermain materials and shall be brought to the surface at all gate valve and hydrant locations.
16. The plans shall note the proposed valve sizes associated with the proposed wet tap watermain connections.
17. Gate valves shall be installed with umbrella anchorage assemblies.
18. Gate valves shall include an operating rod which extends to within one foot of the finished surface.
19. The applicant shall be responsible for conducting a continuity test of the water system following its installation.
20. The applicant shall be responsible for obtaining two consecutive passing bacteriological tests taken 24 hours apart.
21. HPDE adjusting rings as manufactured by Ladtech shall be installed on all sanitary sewer and storm sewer manholes. Concrete adjusting rings will not be permitted on structures other than catch basins.
22. The applicant shall identify proposed snow storage locations on the construction documents.
23. The applicant shall submit an irrigation and landscaping plan for review.
24. All rip-rap shall be granite.
25. 45-mil rubber membrane shall be installed beneath all proposed rip rap in lieu of geotextile fabric and shall extend beneath concrete flared end sections a minimum of 3'.
26. All stormwater ponds shall be privately maintained. The applicant shall submit a pond maintenance plan for the City's files.
27. The following St. Francis standard details shall be included in the construction documents: 3-600, 5-110, and 6-400.
28. Following approval of the construction plans by the City Engineer and a minimum of 1-week prior to construction, a pre-construction meeting shall be held for the project.

I recommend that the construction documents be revised to incorporate the above referenced comments and those comments as submitted by other city staff. Revised construction documents shall be submitted to the City Engineer and Public Works Director for review and approval prior to a building permit being issued for the site.

If you have any questions on the above, please call.

Sincerely,

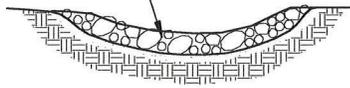
BOLTON & MENK, INC.


Jared Voge, P.E.
City Engineer
JAV/kg

enc.

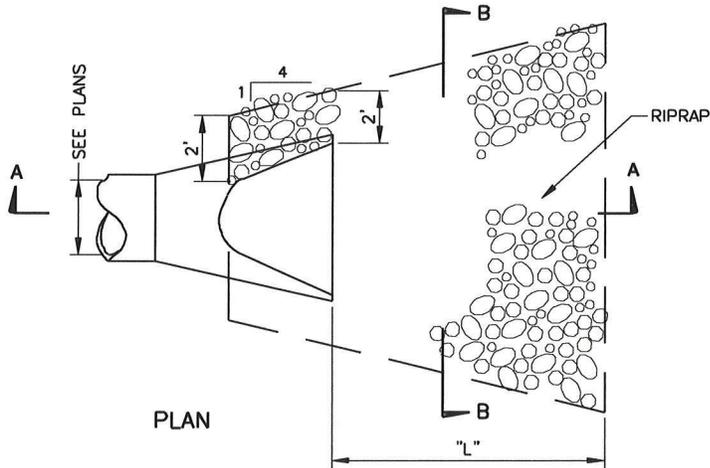
Cc: Paul Teicher, Public Works Director

SEE TABLE FOR
MINIMUM DEPTH

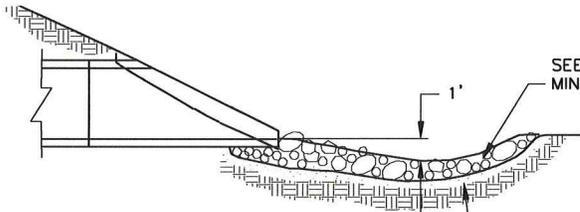


SECTION B-B

DIA OF ROUND PIPE (IN)	L (FT)	CLASS II	CLASS III	CLASS IV
		d50=6" 12" DEPTH RIPRAP (CU YD)	d50=9" 18" DEPTH RIPRAP (CU YD)	d50=12" 24" DEPTH RIPRAP (CU YD)
12	8	5	8	10
15	8	5	8	10
18	10	6	10	15
21	10	8	15	15
24	12	10	15	20
27	12	10	15	20
30	14	15	20	25
36	16	18	25	30
42	18	20	30	40
48	20	20	40	50



PLAN



SEE TABLE FOR
MINIMUM DEPTH

45 MIL RUBBER MEMBRANE; THE MEMBRANE MATERIAL SHOULD COVER THE AREA OF THE RIPRAP AND EXTEND UNDER THE CULVERT APRON THREE FEET

SECTION A-A

RIPRAP AT RCP CULVERT END

NOT TO SCALE

Y:\STFR\2013_Details\STFR_3-600.dwg



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Consulting Engineers & Surveyors
MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN BURNSVILLE, MN
WILLMAR, MN CHASKA, MN RAMSEY, MN MAPLEWOOD, MN
BAXTER, MN ROCHESTER, MN AMES, IA SPENCER, IA

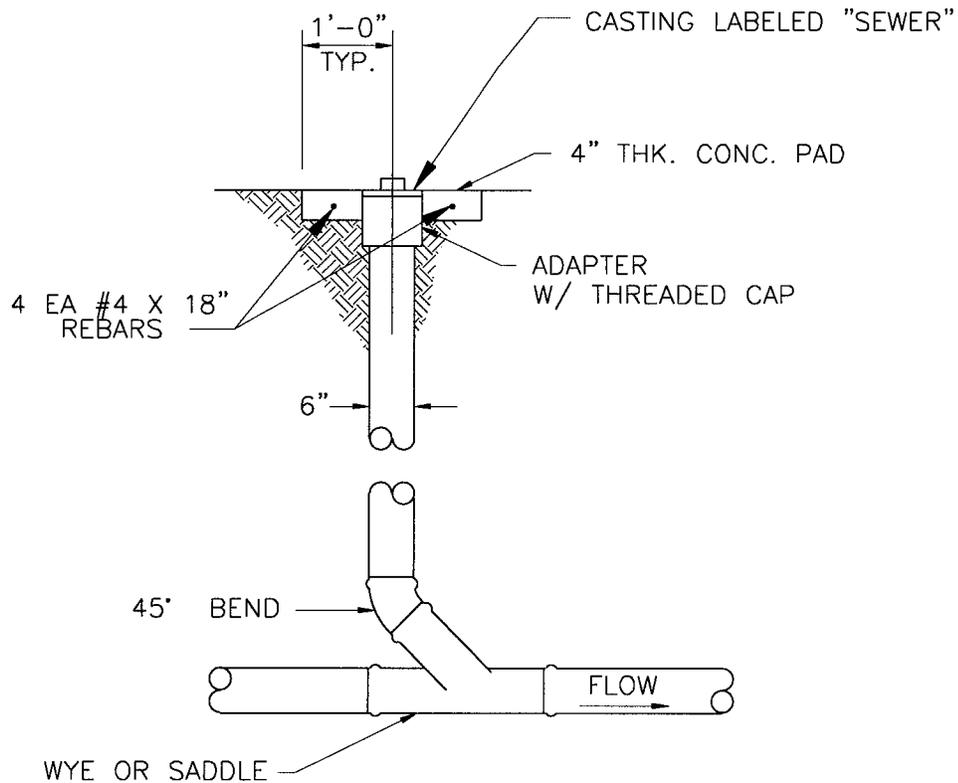
RIPRAP AT RCP
CULVERT END



DATE:
04/2013

STD. DETAIL
3-600

Y:\STFR\2007 Details\STFR_5-110.dwg 08-29-2007 4:23 pm



SANITARY SEWER CLEANOUT
NOT TO SCALE



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Consulting Engineers & Surveyors
MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN
BURNSVILLE, MN WILLMAR, MN CHASKA, MN
RAMSEY, MN MAPLEWOOD, MN BAXTER, MN AMES, IA

*SANITARY SEWER
CLEANOUT*



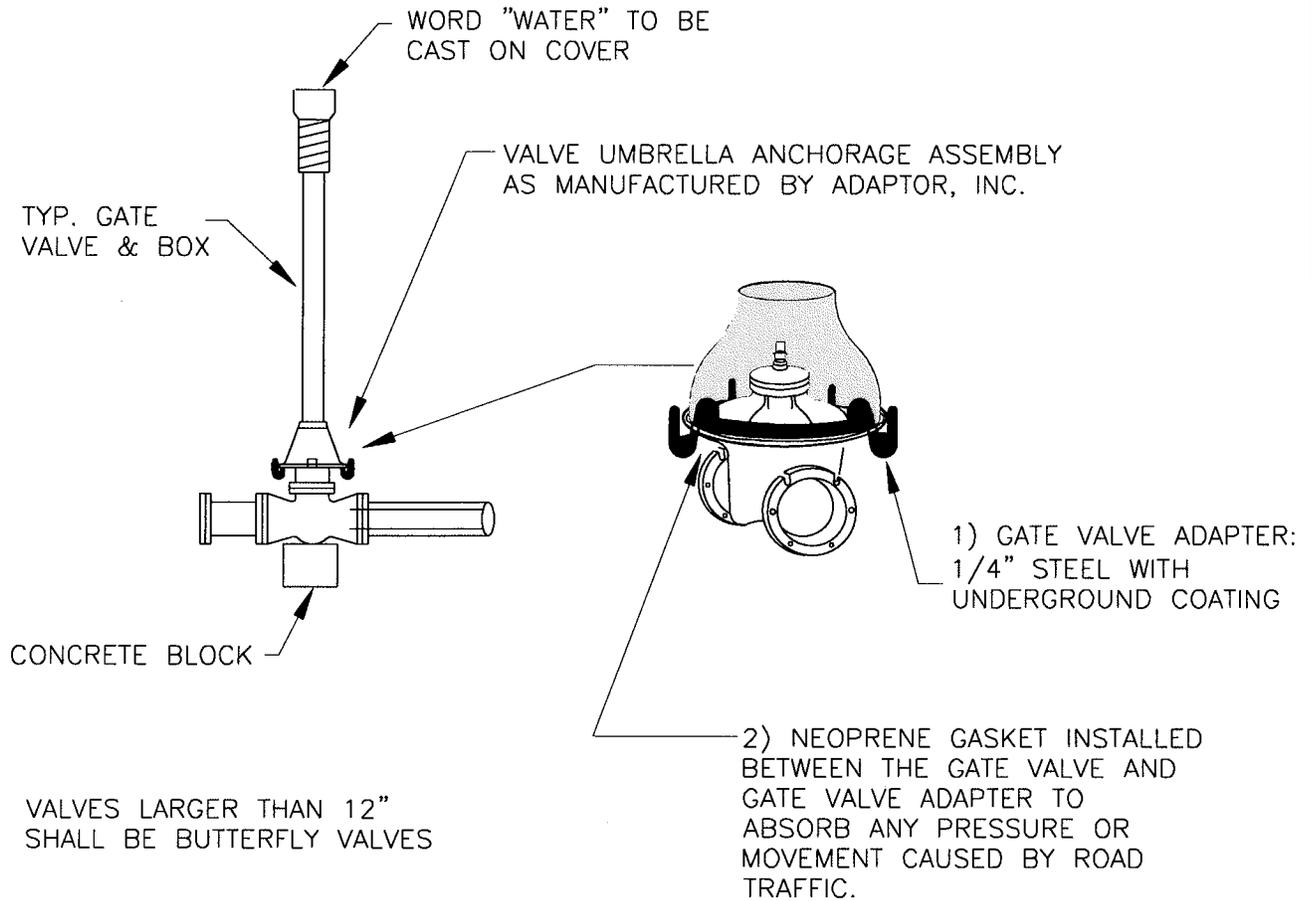
DATE:
09/2007

STD. DETAIL
5-110

ADJUSTABLE BOX SHALL
 BE MUELLER H-10357,
 TYLER 6880, CRUPP
 FOUNDRY GBOA OR EQUAL

VALVE BOX SHALL HAVE
 A MINIMUM OF 6"
 ADJUSTMENT ABOVE AND
 BELOW GRADE AFTER
 INSTALLATION

AMERICAN - 80 KENNEDY
 KEN-SEAL, CLOW 2832
 RESILIENT SEAT VALVE OR
 EQUAL, CONFORMING TO
 AWWA C-515 STANDARDS



GATE VALVE INSTALLATION

NOT TO SCALE

Y:\STFR\2007 Details\STFR_6-400.dwg 08-29-2007 4:43 pm



BOLTON & MENK, INC.

Consulting Engineers & Surveyors

MANKATO, MN FAIRMONT, MN SLEEPY EYE, MN
 BURNSVILLE, MN WILLMAR, MN CHASKA, MN
 RAMSEY, MN MAPLEWOOD, MN BAXTER, MN AMES, IA

*GATE VALVE
 INSTALLATION*

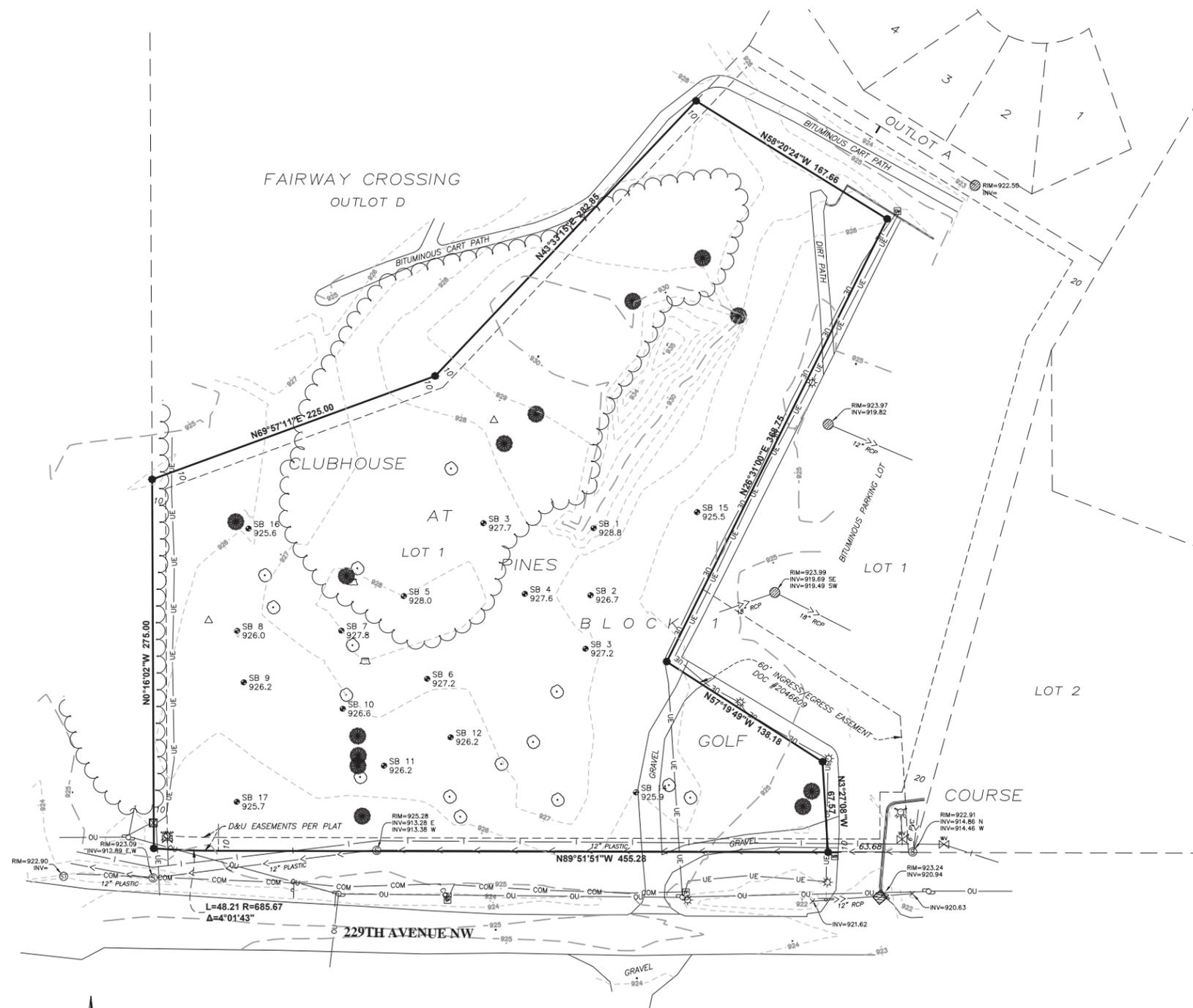


DATE:
 09/2007

STD. DETAIL
 6-400

CERTIFICATE OF SURVEY

PART OF LOT 1, BLOCK 1 CLUBHOUSE AT PONDS GOLF COURSE



PROPERTY DESCRIPTION:
Document Number 2560679

All that part of Lot 1, Block 1, Clubhouse at Ponds Golf Course, Anoka County, Minnesota, lying Easterly, Northeasterly and Southeasterly of the following described line:

Commencing at the Southeast corner of said Lot 1; thence South 89 degrees 36 minutes 47 seconds West, assumed bearing, along the South line of said Lot 1, a distance of 63.68 feet to the point of beginning of the line to be described; thence North 03 degrees 58 minutes 30 seconds West, 67.57 feet; thence North 57 degrees 51 minutes 11 seconds West, 138.18 feet; thence North 25 degrees 59 minutes 38 seconds East, 368.75 feet; thence North 58 degrees 51 minutes 46 seconds West, 167.67 feet to the Northwestern line of said Lot 1 and said line there terminating.

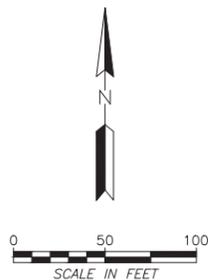
SURVEYORS NOTES:

1. This survey was prepared based on a cursory title review, the surveyor does not guarantee that all or any adverse interests, easements or other encumbrances are shown or that the owner listed has fee title to the property.
2. Horizontal Datum: Anoka County Coordinate System NAD83(96)
3. Vertical Datum: NAVD88
4. Date of fieldwork: 8/28/2015

SURVEYORS CERTIFICATION:

I hereby certify that this survey was completed by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Chris Ambourn 9/8/2015
Chris Ambourn Date
LS 43055



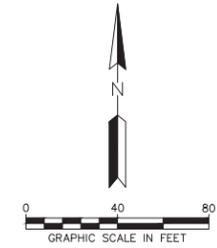
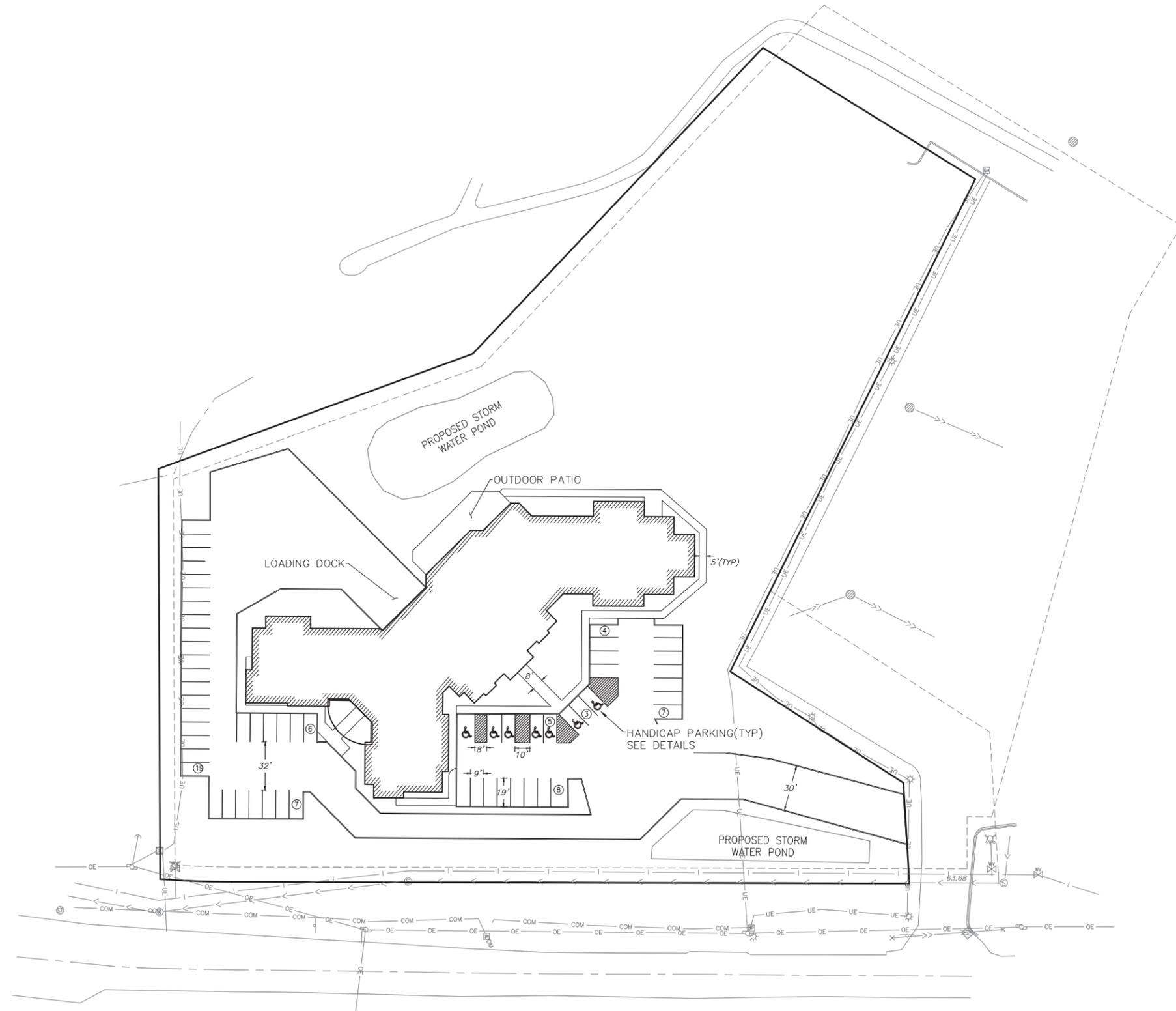
LEGEND

- | | | |
|---------------------------|-------------------|--------------------------------------|
| △ CONTROL POINT | ○ UTILITY POLE | —>>—>> STORM SEWER |
| ● FOUND MONUMENT | —○— ANCHOR CABLE | —>—> SANITARY SEWER |
| ○ SANITARY SEWER MANHOLE | ○ LIGHT POLE | — — WATERMAIN |
| ○ STORM SEWER INLET | ○ STUMP | —COM— UNDERGROUND COMMUNICATION LINE |
| ○ STORM SEWER INLET | ○ DECIDUOUS TREE | —UE— UNDERGROUND ELECTRIC LINE |
| ○ CURB STOP VALVE | ○ CONIFEROUS TREE | —OU— OVERHEAD UTILITY LINE |
| ○ HYDRANT | ○ SHRUB/BUSH | — — SURVEYED BOUNDARY LINE |
| ○ WATER GATE VALVE | ○ SOIL BORING | — — TREE LINE |
| ○ COMMUNICATIONS PEDESTAL | ○ MAILBOX | |
| ○ ELECTRIC METER | | |
| ○ ELECTRIC TRANSFORMER | | |
| ○ TRAFFIC SIGN | | |

WENCK ASSOCIATES
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1802 WOODDALE DRIVE WOODBURY, MN 55125 Ph: 651-395-5212

CLIENT NAME		PROJECT TITLE	
TCO DESIGN		CERTIFICATE OF SURVEY	
DWN BY CNA	CHK'D JAE	APP'D CNA	DWG DATE SEPT 2015
PROJECT NO. 5602-0001		SCALE AS SHOWN	
SHEET NO. C-01			

Plot Date & Time: 29 September 2015 8:49 AM
U:\Drawing\5602\0001\CAC-01_Survey.dwg



SITE PLAN LEGEND

	PROPOSED BUILDING
	STANDARD CURB & GUTTER
	CONCRETE SIDEWALK

GENERAL LEGEND

	EXISTING CONTOURS
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING PAVEMENT
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING EXISTING STORMSEWER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND FIBER OPTIC
	EXISTING SANITARY MANHOLE
	EXISTING CATCH BASIN
	EXISTING HYDRANT
	EXISTING TELEPHONE BOX

REV	REVISION DESCRIPTION	DWN	APP	REV DATE
A	CUP SUBMITTAL	TWR	JAE	9/29/15

SEAL
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINT NAME JEFF A. ELLERD
 SIGNATURE [Signature]
 DATE SEP 29, 2015 LICENSE # 41648

SUB CONSULTANT
NOT FOR CONSTRUCTION

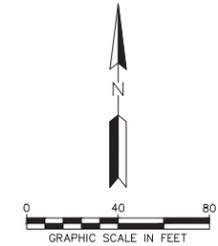
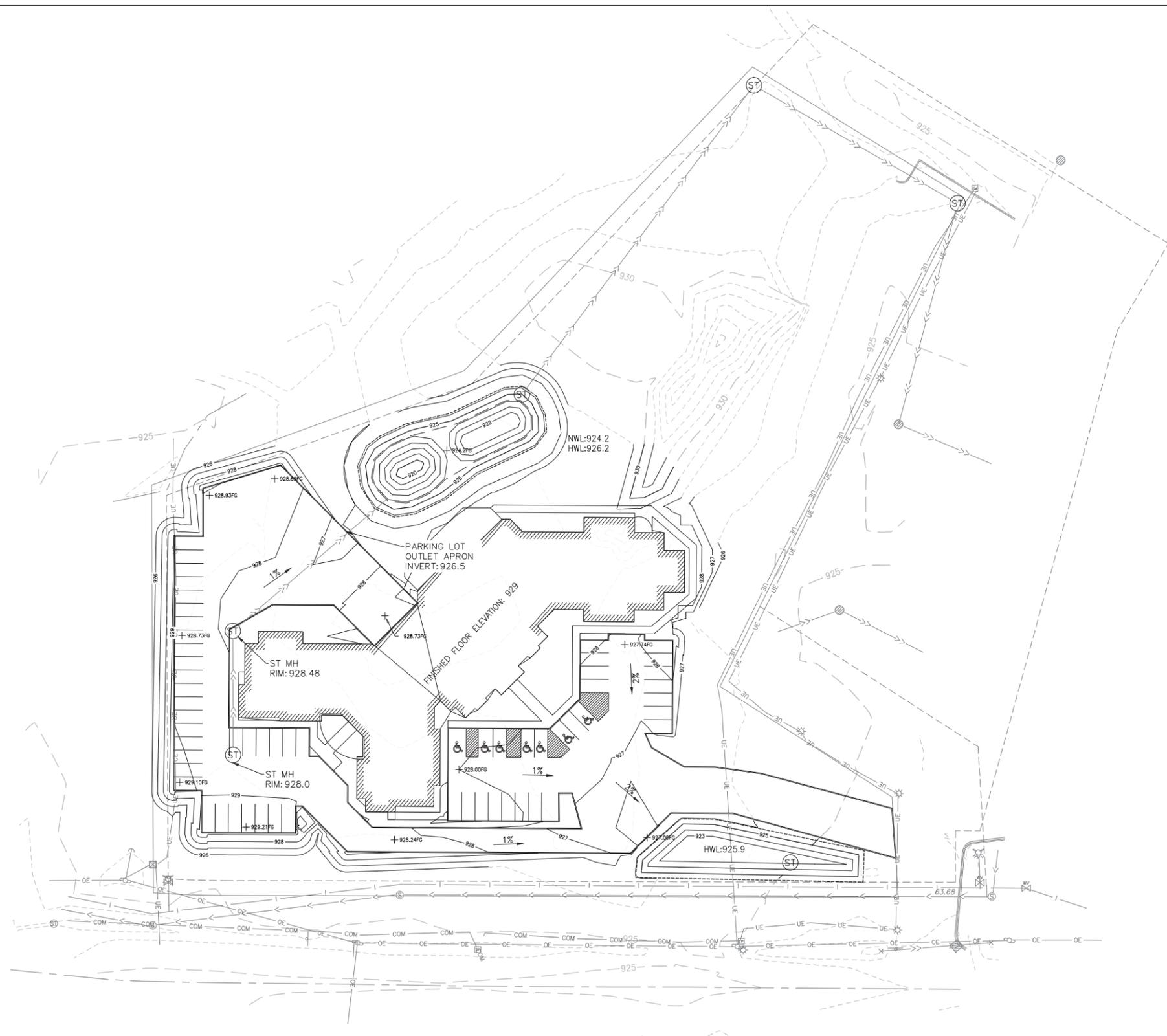
PRIME CONSULTANT

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 1802 WOODDALE DRIVE WOODBURY, MN 55125 (651) 294-4580 (651) 228-1969

PROJECT TITLE
 ST. FRANCIS TRANSITIONAL CARE CIVIL SITE DESIGN
 ABLE COMPANIES, INC.
 9705 45TH AVE N #421176 PLYMOUTH, MINNESOTA

SHEET TITLE
 SITE PLAN

DWN BY	CHK'D	APP'D	DWG DATE	SEP 2015
TWR	JAE	JAE	SCALE	AS NOTED
PROJECT NO.	SHEET NO.	REV NO.		
5602-0001	C-03	A		



- | GRADING LEGEND | | GENERAL LEGEND | |
|----------------|-------------------------------|----------------|----------------------------------|
| | EXISTING CONTOURS | | EXISTING CONTOURS |
| | PROPOSED CURB AND GUTTER | | EXISTING PROPERTY LINE |
| | PROPOSED CONTOURS | | EXISTING EASEMENT |
| | SPOT ELEVATION FINISHED GRADE | | EXISTING SANITARY SEWER |
| | SLOPE DIRECTION | | EXISTING WATERMAIN |
| | PROPOSED STORM SEWER | | EXISTING OVERHEAD ELECTRIC |
| | PROPOSED STORM SEWER MANHOLE | | EXISTING UNDERGROUND FIBER OPTIC |
| | NORMAL WATER LEVEL OF PONDS | | EXISTING SANITARY MANHOLE |
| | HIGH WATER LEVEL OF PONDS | | EXISTING STORM SEWER MANHOLE |
| | | | EXISTING HYDRANT |
| | | | EXISTING TELEPHONE BOX |

A	CUP SUBMITTAL	TWR	JAE	9/29/15
REV	REVISION DESCRIPTION	DWN	APP	REV DATE

SEAL
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINT NAME JEFF A. ELLERD
 SIGNATURE [Signature]
 DATE SEP 29, 2015 LICENSE # 41648

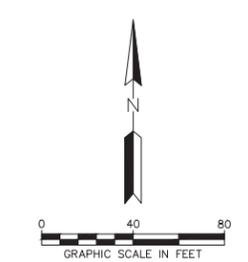
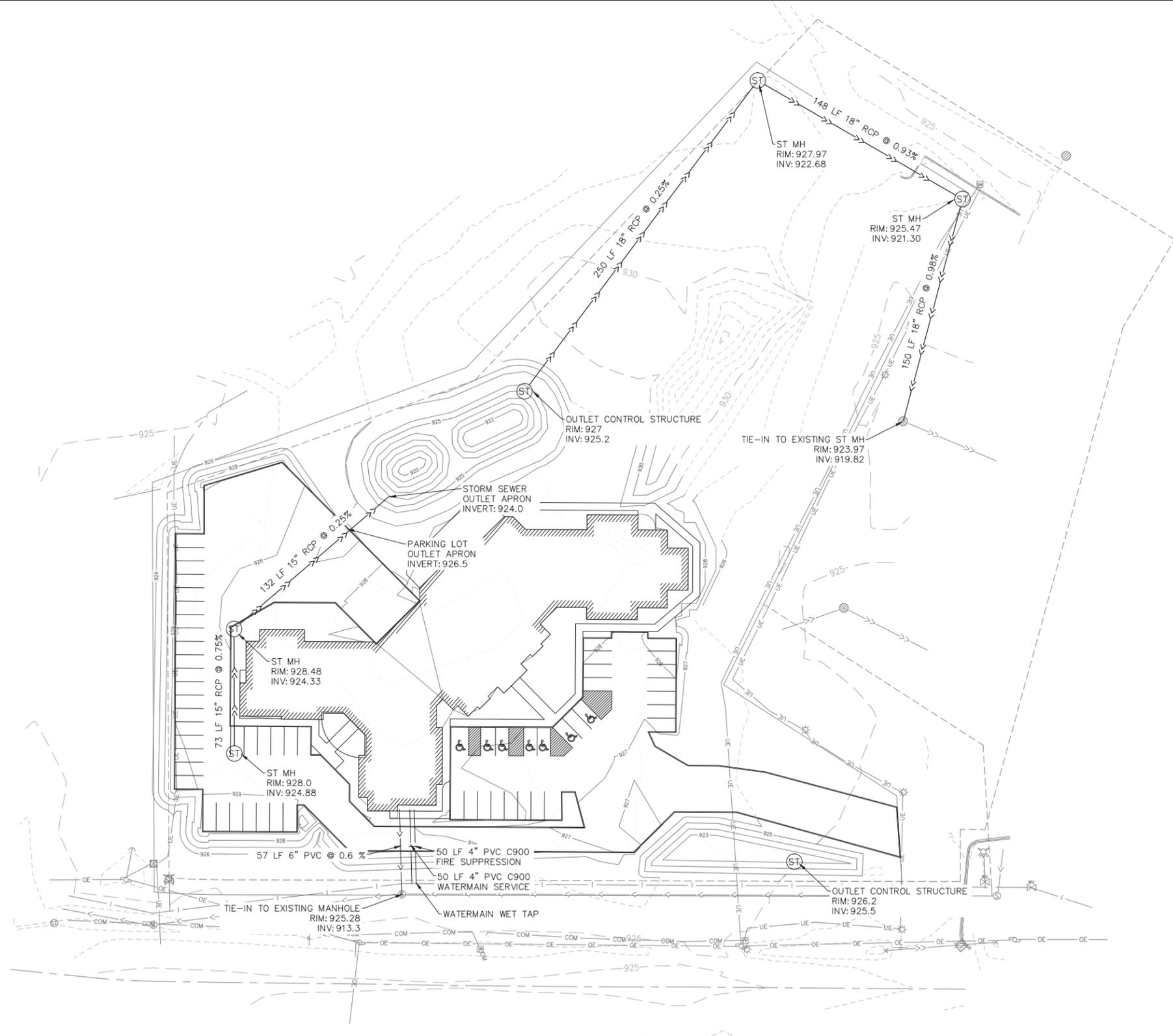
SUB CONSULTANT
NOT FOR CONSTRUCTION

PRIME CONSULTANT

 Responsive partner. Exceptional outcomes.
 1802 WOODDALE DRIVE WOODBURY, MN 55125 (651) 294-4580 (651) 228-1969

PROJECT TITLE
 ST. FRANCIS TRANSITIONAL CARE CIVIL SITE DESIGN
 ABLE COMPANIES, INC.
 9705 45TH AVE N #421176 PLYMOUTH, MINNESOTA

SHEET TITLE SITE GRADING			
DWN BY TWR	CHK'D JAE	APP'D JAE	DWG DATE SEP 2015
PROJECT NO. 5602-0001		SHEET NO. C-05	
SCALE AS NOTED		REV NO. A	



UTILITIES LEGEND		GENERAL LEGEND	
— — —	WATERMAIN	- - - 925 - - -	EXISTING CONTOURS
->->->	SANITARY SEWER	- - - - -	EXISTING PROPERTY LINE
->->->	STORM SEWER	- - - - -	EXISTING EASEMENT
(ST)	STORM MANHOLE	->->->	EXISTING SANITARY SEWER
		- — —	EXISTING WATERMAIN
		->->->	EXISTING OVERHEAD ELECTRIC
		- — —	EXISTING UNDERGROUND FIBER OPTIC
		(S)	EXISTING SANITARY MANHOLE
		(ST)	EXISTING STORM SEWER MANHOLE
		(H)	EXISTING HYDRANT
		(TB)	EXISTING TELEPHONE BOX

REV	REVISION DESCRIPTION	DWN	APP	REV DATE
A	CUP SUBMITTAL	TWR	JAE	9/29/15

SEAL
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 PRINT NAME JEFF A. ELLERD
 SIGNATURE *[Signature]*
 DATE SEP 29, 2015 LICENSE # 41648

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PROJECT TITLE
 ST. FRANCIS TRANSITIONAL CARE CIVIL SITE DESIGN
 ABLE COMPANIES, INC.
 9705 45TH AVE N #421176 PLYMOUTH, MINNESOTA

SHEET TITLE			
UTILITY PLAN			
DWN BY	CHK'D	APP'D	DWG DATE
TWR	JAE	JAE	SEP 2015
PROJECT NO.		SCALE	
5602-0001		AS NOTED	
SHEET NO.		REV NO.	
C-06		A	

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JAMES A. MACKEY
DATE: LIC. NO. 23018



JIM MACKEY ARCHITECT
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Jim Mackey
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Drafting by
Todd Ofsthun
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Plan Date
9-28-15

ST. FRANCIS PONDS HEALTH CARE FACILITY
PID 33-34-24-34-0076 St. Francis



Design #
tco201582

A4

A4 OF A5



EAST ELEVATION
SCALE 3/32" = 1'-0"



SOUTHEAST ELEVATION
SCALE 3/32" = 1'-0"

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Plan Date
9-28-15

ST. FRANCIS PONDS HEALTH CARE FACILITY
PID 33-34-24-34-0076 St. Francis



Design #
tco201582

A5
A5 OF A5



NORTH ELEVATION

SCALE 3/32" = 1'-0"



WEST ELEVATION

SCALE 3/32" = 1'-0"



SOUTH ELEVATION

SCALE 3/32" = 1'-0"

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JAMES A. MACKAY
DATE: _____ LIC. NO. 23018



JIM MACKAY ARCHITECT

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Jim Mackay
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Prepared by

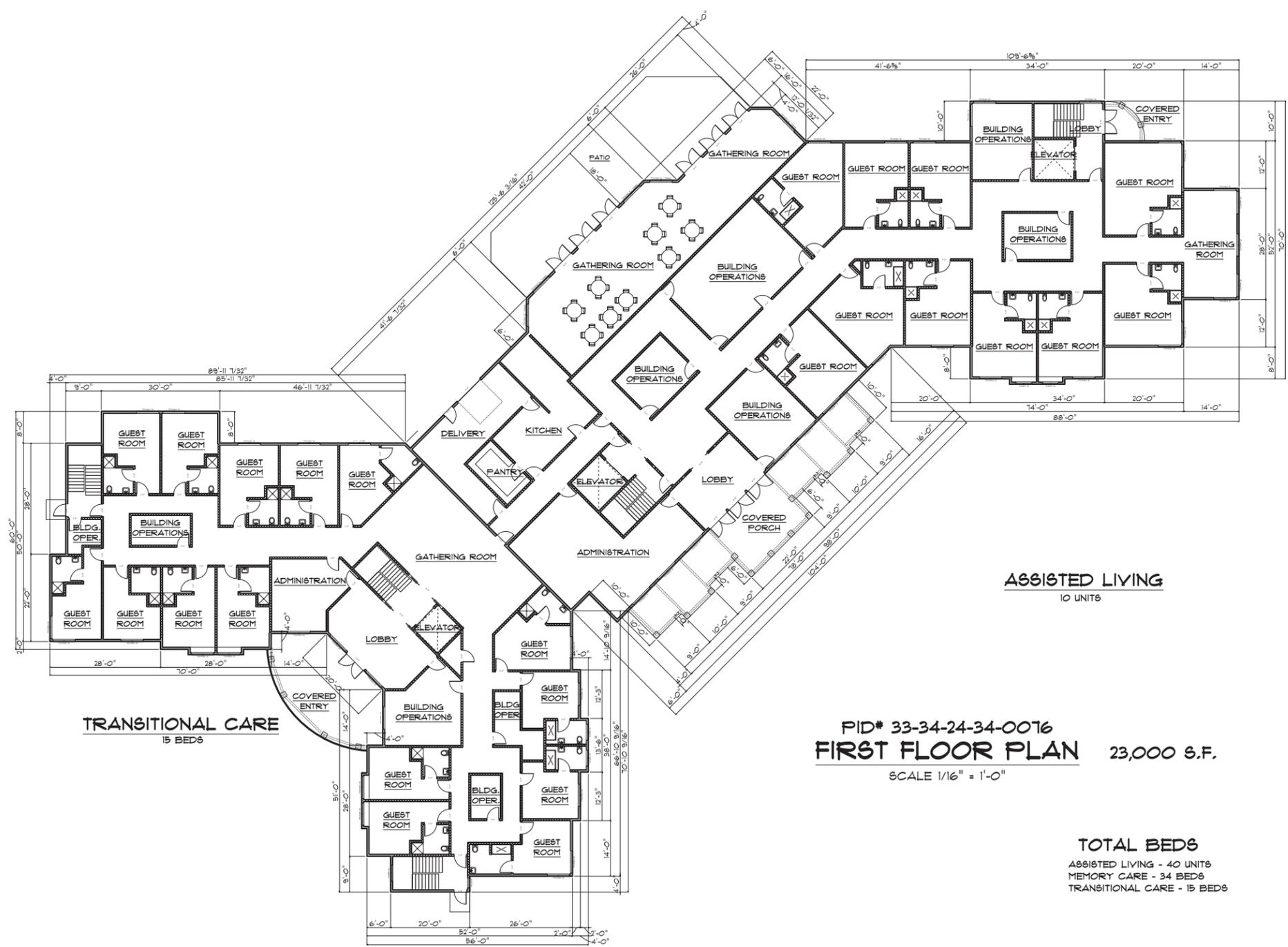
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todd@tco-design.net

Plan Date

9-28-15



TRANSITIONAL CARE
15 BEDS

ASSISTED LIVING
40 UNITS

PID# 33-34-24-34-0016
FIRST FLOOR PLAN 23,000 S.F.
SCALE 1/16" = 1'-0"

TOTAL BEDS
ASSISTED LIVING - 40 UNITS
MEMORY CARE - 34 BEDS
TRANSITIONAL CARE - 15 BEDS

SHEET INDEX:

- A1 FIRST FLOOR PLAN
- A2 SECOND FLOOR PLAN
- A3 THIRD FLOOR PLAN
- A4 EAST and SOUTHEAST
EXTERIOR ELEVATIONS
- A5 SOUTH, WEST, and NORTH
EXTERIOR ELEVATIONS



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Design #

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A1

A1 OF A5

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JAMES A. MACKEY
DATE: _____ LIC. NO. 23018



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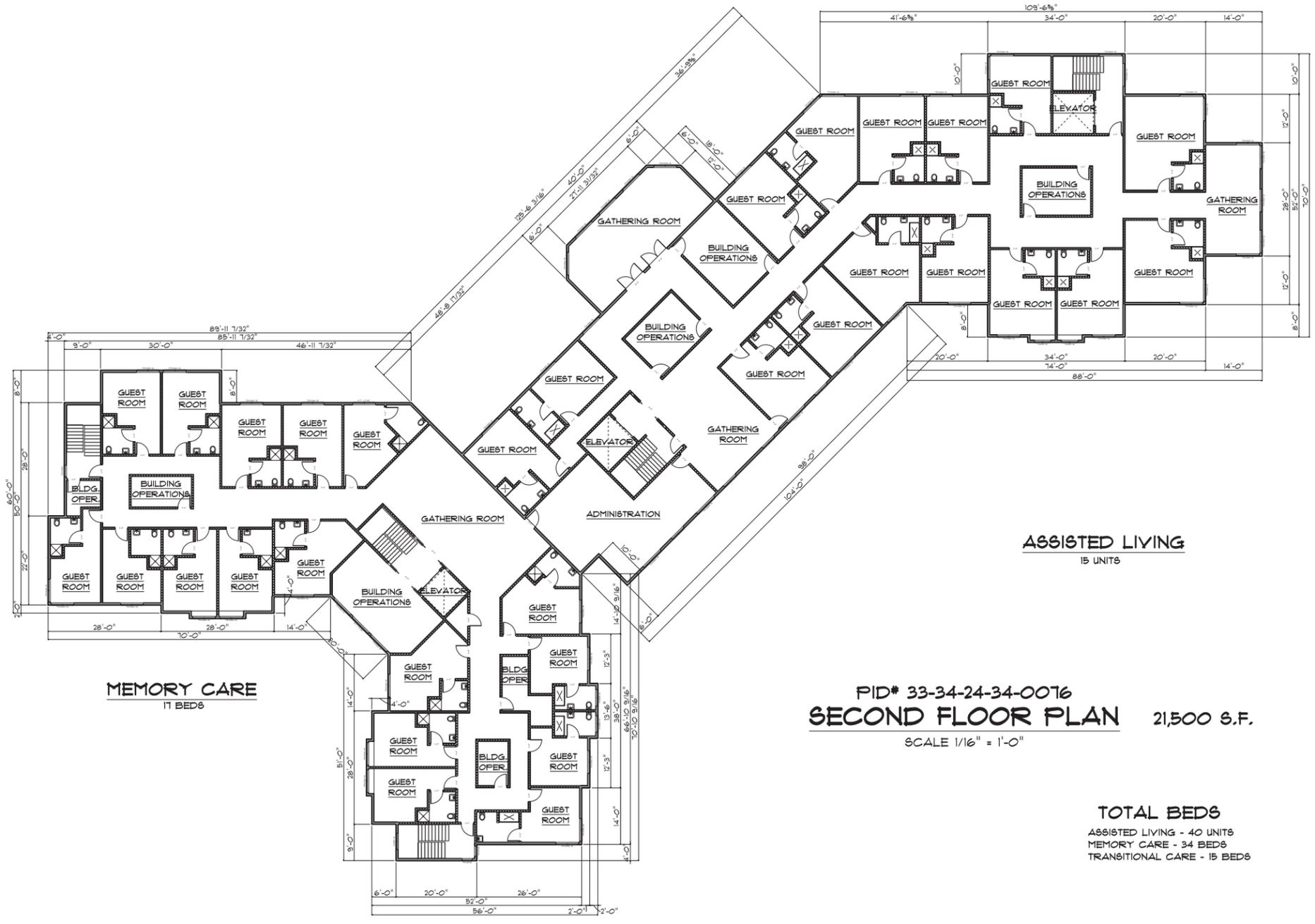
Plan Date
9-28-15

ST. FRANCIS PONDS HEALTH CARE FACILITY
PID 33-34-24-34-0076 St. Francis



Design #
tco201582

A2
A2 OF A5



ASSISTED LIVING
15 UNITS

PID# 33-34-24-34-0076
SECOND FLOOR PLAN 21,500 S.F.
SCALE 1/16" = 1'-0"

TOTAL BEDS
ASSISTED LIVING - 40 UNITS
MEMORY CARE - 34 BEDS
TRANSITIONAL CARE - 15 BEDS

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JAMES A. MACKEY
DATE: _____ LIC. NO. 23018



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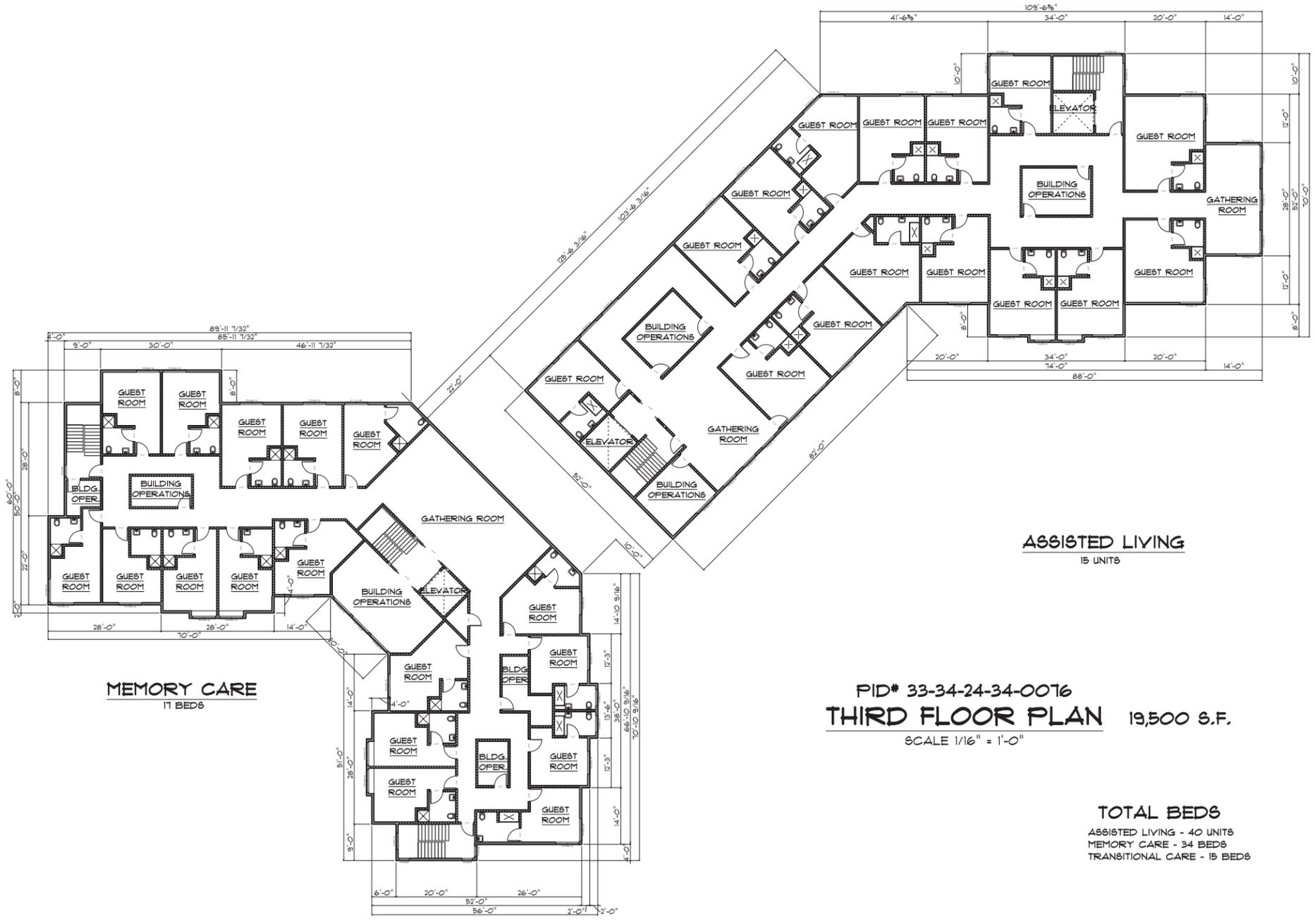
Plan Date
9-28-15

ST. FRANCIS PONDS HEALTH CARE FACILITY
PID 33-34-24-34-0076 St. Francis



Design #
tco201582

A3
A3 OF A5



ASSISTED LIVING
15 UNITS

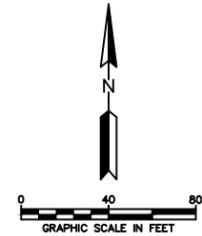
MEMORY CARE
11 BEDS

PID# 33-34-24-34-0076
THIRD FLOOR PLAN 19,500 S.F.
SCALE 1/16" = 1'-0"

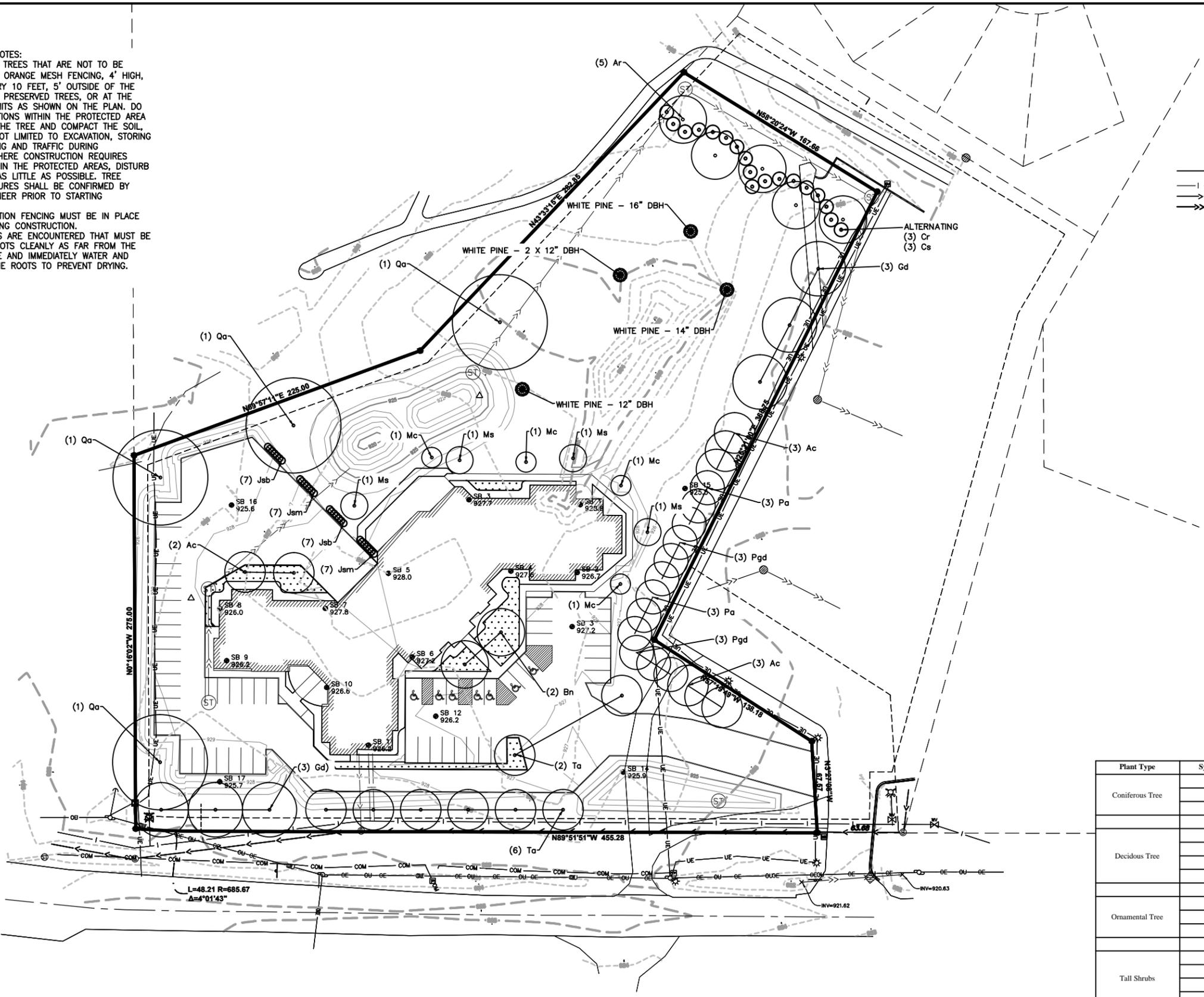
TOTAL BEDS
ASSISTED LIVING - 40 UNITS
MEMORY CARE - 34 BEDS
TRANSITIONAL CARE - 15 BEDS

TREE PRESERVATION NOTES:

1. PROTECT EXISTING TREES THAT ARE NOT TO BE REMOVED. INSTALL ORANGE MESH FENCING, 4' HIGH, WITH STAKES EVERY 10 FEET, 5' OUTSIDE OF THE DRIP LINE OF ALL PRESERVED TREES, OR AT THE CONSTRUCTION LIMITS AS SHOWN ON THE PLAN. DO NOT PERFORM ACTIONS WITHIN THE PROTECTED AREA THAT MAY HARM THE TREE AND COMPACT THE SOIL, INCLUDING, BUT NOT LIMITED TO EXCAVATION, STORING MATERIALS, PARKING AND TRAFFIC DURING CONSTRUCTION. WHERE CONSTRUCTION REQUIRES DISTURBANCE WITHIN THE PROTECTED AREAS, DISTURB THE ROOT ZONE AS LITTLE AS POSSIBLE. TREE PROTECTION MEASURES SHALL BE CONFIRMED BY OWNER AND ENGINEER PRIOR TO STARTING CONSTRUCTION.
2. ALL TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO BEGINNING CONSTRUCTION.
3. WHEN TREE ROOTS ARE ENCOUNTERED THAT MUST BE REMOVED, CUT ROOTS CLEANLY AS FAR FROM THE TREE AS POSSIBLE AND IMMEDIATELY WATER AND BACKFILL OVER THE ROOTS TO PREVENT DRYING.



UTILITIES LEGEND		GENERAL LEGEND	
— — —	WATERMAIN	--- 925 ---	EXISTING CONTOURS
— — —	SANITARY SEWER	- - - - -	EXISTING PROPERTY LINE
— — —	STORM SEWER	- - - - -	EXISTING EASEMENT
(ST)	STORM MANHOLE	— — —	EXISTING SANITARY SEWER
		— — —	EXISTING WATERMAIN
		— — —	EXISTING OVERHEAD ELECTRIC
		COM	EXISTING UNDERGROUND FIBER OPTIC
		(S)	EXISTING SANITARY MANHOLE
		(ST)	EXISTING STORM SEWER MANHOLE
		(H)	EXISTING HYDRANT
		(T)	EXISTING TELEPHONE BOX
LANDSCAPE LEGEND			
(●)	EXISTING CONIFEROUS TREE TO BE PRESERVED	(○)	NEW DECIDUOUS TREE OR SHRUB
(○)	NEW CONIFEROUS TREE OR SHRUB	(□)	NEW TURF
(□)	NEW FOUNDATION PLANTING		



Plant Type	Symbol	Qty	Common Name	Scientific Name	Min. Container Size
Coniferous Tree	Ac	8	White Fir	<i>Abies concolor</i>	4' B&B
	Pa	6	Norway Spruce	<i>Picea abies</i>	4' B&B
	Pgd	6	Black Hills Spruce	<i>Picea glauca densata</i>	4' B&B
Deciduous Tree	Ar	5	Red Maple	<i>Acer rubrum</i>	2" B&B
	Gd	6	Kentucky Coffee Tree	<i>Gymnocladus dioica 'Stately Manor'</i>	2" B&B
	Ta	8	Redmond Linden	<i>Tilia americana 'Redmond'</i>	2" B&B
	Qa	4	White Oak	<i>Quercus alba</i>	2" B&B
Ornamental Tree	Bn	2	River Birch, Clump	<i>Betula nigra</i>	2" B&B
	Mc	4	Coralburr crabapple	<i>Malus 'Coralcole'</i>	2" B&B
	Ms	4	Snowdrift crabapple	<i>Malus 'Snowdrift'</i>	2" B&B
Tall Shrubs	Jsb	14	Sky High Juniper	<i>Juniperus scopulorum 'Sky High'</i>	3' to 4' tall
	Jsm	14	Medora Juniper	<i>Juniperus scopulorum 'Medora'</i>	3' to 4' tall
	Cr	9	Gray Dogwood	<i>Cornus racemosa</i>	3' to 4' tall
	Cs	9	Red Dogwood	<i>Cornus sericea</i>	3' to 4' tall

REV	REVISION DESCRIPTION	DWN	APP	REV DATE
A	CUP SUBMITTAL	TWR	JAE	9/29/15

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 PRINT NAME JEFF A. ELLERD
 SIGNATURE *[Signature]*
 DATE SEP 29, 2015 LICENSE # 41648

SUB CONSULTANT
NOT FOR CONSTRUCTION

PRIME CONSULTANT

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 1802 WOODDALE DRIVE WOODBURY, MN 55125 (651) 294-4580 (651) 228-1969

PROJECT TITLE
ST. FRANCIS TRANSITIONAL CARE CIVIL SITE DESIGN
 ABLE COMPANIES, INC.
 9705 45TH AVE N #421176 PLYMOUTH, MINNESOTA

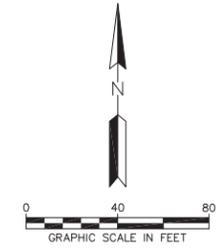
SHEET TITLE
LANDSCAPE PLAN

DWN BY	CHK'D	APP'D	DWG DATE	SEP 2015
TWR	JAE	JAE	SCALE	AS NOTED
PROJECT NO.	SHEET NO.	REV NO.		
5602-0001	L-01	A		

Plot Date & Time: 6 October 2015 3:11 PM

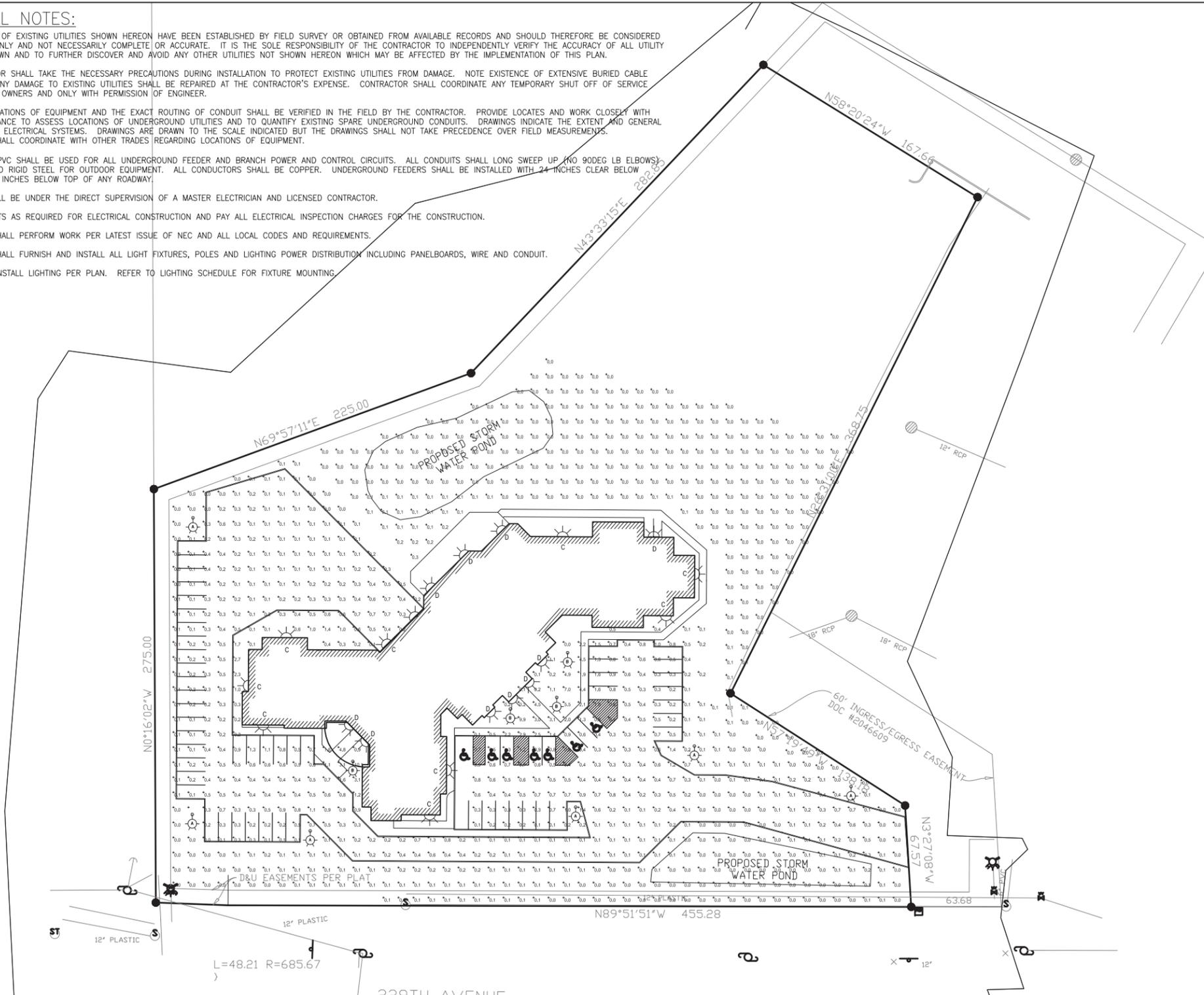
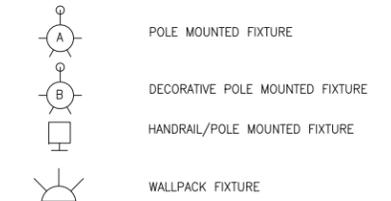
GENERAL NOTES:

- 1 ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE OR ACCURATE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- 2 THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS DURING INSTALLATION TO PROTECT EXISTING UTILITIES FROM DAMAGE. NOTE EXISTENCE OF EXTENSIVE BURIED CABLE AND PIPING. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL COORDINATE ANY TEMPORARY SHUT OFF OF SERVICE WITH AFFECTED OWNERS AND ONLY WITH PERMISSION OF ENGINEER.
- 3 THE EXACT LOCATIONS OF EQUIPMENT AND THE EXACT ROUTING OF CONDUIT SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. PROVIDE LOCATES AND WORK CLOSELY WITH PLANT MAINTENANCE TO ASSESS LOCATIONS OF UNDERGROUND UTILITIES AND TO QUANTIFY EXISTING SPARE UNDERGROUND CONDUITS. DRAWINGS INDICATE THE EXTENT AND GENERAL LAYOUT OF THE ELECTRICAL SYSTEMS. DRAWINGS ARE DRAWN TO THE SCALE INDICATED BUT THE DRAWINGS SHALL NOT TAKE PRECEDENCE OVER FIELD MEASUREMENTS. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES REGARDING LOCATIONS OF EQUIPMENT.
- 4 SCHEDULE 40 PVC SHALL BE USED FOR ALL UNDERGROUND FEEDER AND BRANCH POWER AND CONTROL CIRCUITS. ALL CONDUITS SHALL LONG SWEEP UP (NO 90DEG LB ELBOWS) INTO GALVANIZED RIGID STEEL FOR OUTDOOR EQUIPMENT. ALL CONDUCTORS SHALL BE COPPER. UNDERGROUND FEEDERS SHALL BE INSTALLED WITH 24 INCHES CLEAR BELOW GRADE AND 36 INCHES BELOW TOP OF ANY ROADWAY.
- 5 ALL WORK SHALL BE UNDER THE DIRECT SUPERVISION OF A MASTER ELECTRICIAN AND LICENSED CONTRACTOR.
- 6 FURNISH PERMITS AS REQUIRED FOR ELECTRICAL CONSTRUCTION AND PAY ALL ELECTRICAL INSPECTION CHARGES FOR THE CONSTRUCTION.
- 7 CONTRACTOR SHALL PERFORM WORK PER LATEST ISSUE OF NEC AND ALL LOCAL CODES AND REQUIREMENTS.
- 8 CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHT FIXTURES, POLES AND LIGHTING POWER DISTRIBUTION INCLUDING PANELBOARDS, WIRE AND CONDUIT.
- 9 FURNISH AND INSTALL LIGHTING PER PLAN. REFER TO LIGHTING SCHEDULE FOR FIXTURE MOUNTING.



SITE PLAN LEGEND		GENERAL LEGEND	
	PROPOSED BUILDING		EXISTING CONTOURS
	STANDARD CURB & GUTTER		EXISTING PROPERTY LINE
	CONCRETE SIDEWALK		EXISTING EASEMENT
			EXISTING PAVEMENT
			EXISTING SANITARY SEWER
			EXISTING WATERMAIN
			EXISTING EXISTING STORMSEWER
			EXISTING UNDERGROUND ELECTRIC
			EXISTING OVERHEAD ELECTRIC
			EXISTING UNDERGROUND FIBER OPTIC
			EXISTING SANITARY MANHOLE
			EXISTING CATCH BASIN
			EXISTING HYDRANT
			EXISTING TELEPHONE BOX

LIGHTING FIXTURE SYMBOLS:



Light Fixture Schedule

TYPE	DESCRIPTION	MOUNTING	LENS/REFLECTOR	LAMPS	VOLTAGE	WATTS	MANUFACTURER AND CATALOG #	REMARKS
A	PARKING LOT DOWNLIGHT	POLE MOUNT	TEMPERED GLASS	1 MH	120	100	LITHONIA AS1-100M SR4SC HS (OR EQUAL)	ARM MOUNTED, FULL CUTOFF
B	DECORATIVE LIGHT POLE	POLE MOUNT	TEMPERED GLASS	1 MH	120	130	HOLOPHANE ESP10DMH00X7SS	POLE MOUNT
C	OUTDOOR SECURITY	SURFACE WALL MOUNT	POLYCARBONATE	1 HPS	120	70	LITHONIA TWP70S 120 M2	STANDARD WALL PACK
D	UP/DOWN DECORATIVE	SURFACE WALL MOUNT	POLYCARBONATE	LED	120	14	LITHONIA OLLWU	DECORATIVE WALL PACK

REV	REVISION DESCRIPTION	DWN	APP	REV DATE
A	CUP SUBMITTAL	BAZ	SLP	10/05/15

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 PRINT NAME STEVEN L. PELLETIER
 SIGNATURE *Steven L. Pelletier*
 DATE OCT 5, 2015 LICENSE # 45843

SUB CONSULTANT
 PRIME CONSULTANT
WENCK ASSOCIATES
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PROJECT TITLE
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 ABLE COMPANIES, INC.
 9705 45TH AVE N #421176 PLYMOUTH, MINNESOTA

SHEET TITLE			
ELECTRICAL SITE EXTERIOR LIGHTING PLAN			
DWN BY	CHK'D	APP'D	DWG DATE
TWR	SLP	SLP	SEP 2015
PROJECT NO.		SCALE	
5602-0001		AS NOTED	
SHEET NO.		REV NO.	
E-01		A	

M:\6602\0001\Elec\15-01 Electrical Site Exterior Lighting Plan.dwg

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